

PROJECT:

OPERATIONAL WORKS
CIVIL ENGINEERING

PROJECT DETAILS:

'ARCHERS WAY' ESTATE - STAGE 1
AT 22-80 CASH STREET, D'AGUILAR

PROJECT NUMBER: M2584E_1
MORETON BAY REGIONAL COUNCIL
REFERENCE: DA/38032/2019/V3RL
27 ALLOTMENTS
LOT1 ON RP230991 &
LOT2 ON RP80309
AREA - 4.47ha

LOCALITY PLAN



N.T.S.

SAFETY IN DESIGN

THE ENGINEERING DESIGN FOR THE PROPOSAL HAS BEEN DEVELOPED TO MEET THE STATED PROJECT BRIEF, AS EXPRESSED IN JFP URBAN CONSULTANTS OFFER FOR THE WORKS, AND THE DESIGN STANDARDS STIPULATED BY THE LOCAL AUTHORITY NAMED ON THIS PLAN. IT IS EXPECTED THAT A COMPETENT PRINCIPAL CONTRACTOR WILL BE APPOINTED FOR THE PROJECT AND THAT ALL 'HIGH RISK' CONSTRUCTION WORKS WILL BE ADDRESSED AS PART OF THEIR PROJECT SAFETY PLAN FOR THE SITE.

NON-STANDARD DESIGN SOLUTIONS ADOPTED IN THE PREPARATION OF THE PROPOSAL ARE LISTED AS FOLLOWS;

A HAZARD ASSESSMENT OF THESE NON-STANDARD ITEMS HAS BEEN CONDUCTED AND THE FOLLOWING HAZARDS, THEIR ASSOCIATED RISKS AND THE CONTROL MEASURES SUGGESTED ARE LISTED BELOW;

NON-STANDARD DESIGN ITEM	HAZARD IDENTIFIED	RISK ASSESSMENT	CONTROL MEASURE SUGGESTED
CONSTRUCTION OF WORKS WITHIN EXISTING ROAD RESERVE	POTENTIAL THREATS TO THE SAFETY OF THE PUBLIC USING THE EXISTING ROAD AND FOOTPATHS	MODERATE/POSSIBLE MAJOR RISK	PRINCIPAL CONTRACTOR TO INCLUDE TRAFFIC MANAGEMENT (INCLUDING PEDESTRIAN) FOR WORKS IN EXISTING ROAD RESERVE IN THEIR SAFETY PLAN
SITE ACCESS UNDER EXISTING OVERHEAD ELECTRICITY	ACCESS TO SITE UNDER OVERHEAD ELECTRICITY ALONG CASH STREET	MODERATE/POSSIBLE MAJOR RISK	IDENTIFYING MARKERS TO BE APPLIED TO EXISTING OVERHEAD ELECTRICITY THROUGHOUT CONSTRUCTION

INDEX:

STAGING & SITE SURVEY PLANS

M2584E_1	L01	B	CONSTRUCTION STAGING PLAN
M2584E_1	L02	B	EXISTING SERVICES AND SITE SURVEY PLAN

EARTHWORKS PLANS

M2584E_1	EW01	B	EARTHWORKS LAYOUT PLAN
M2584E_1	EW02	B	EARTHWORKS DETAIL LAYOUT PLAN - SHEET 1 of 4
M2584E_1	EW03	B	EARTHWORKS DETAIL LAYOUT PLAN - SHEET 2 of 4
M2584E_1	EW04	B	EARTHWORKS DETAIL LAYOUT PLAN - SHEET 3 of 4
M2584E_1	EW05	B	EARTHWORKS DETAIL LAYOUT PLAN - SHEET 4 of 4
M2584E_1	EW06	B	EARTHWORKS DETAILS PLAN
M2584E_1	EW07	B	EARTHWORKS - BIORETENTION BASIN 1 LAYOUT PLAN AND DETAILS
M2584E_1	EW08	B	EARTHWORKS - BIORETENTION BASIN 2 LAYOUT PLAN AND DETAILS

ROADWORKS PLANS

M2584E_1	R01	B	ROADWORKS LAYOUT PLAN
M2584E_1	R02	B	ROADWORKS DETAILS PLAN
M2584E_1	R03	B	ROADWORKS INTERSECTION DETAILS PLAN - SHEET 1 of 3
M2584E_1	R04	B	ROADWORKS INTERSECTION DETAILS PLAN - SHEET 2 of 3
M2584E_1	R05	B	ROADWORKS INTERSECTION DETAILS PLAN - SHEET 3 of 3
M2584E_1	R06	B	ROADWORKS LONGITUDINAL SECTION - CASH STREET
M2584E_1	R07	B	ROADWORKS CROSS SECTIONS - CASH STREET - SHEET 1 of 2
M2584E_1	R08	B	ROADWORKS CROSS SECTIONS - CASH STREET - SHEET 2 of 2
M2584E_1	R09	B	ROADWORKS LONGITUDINAL AND CROSS SECTIONS - ROAD 1 (BANKSIA CLOSE)
M2584E_1	R10	B	ROADWORKS LONGITUDINAL SECTION - ROAD 2 (FLINDERS STREET)
M2584E_1	R11	B	ROADWORKS CROSS SECTIONS - ROAD 2 (FLINDERS STREET)
M2584E_1	R12	B	ROADWORKS LONGITUDINAL SECTION - ROAD 3 (BRADMAN STREET)
M2584E_1	R13	B	ROADWORKS CROSS SECTIONS - ROAD 3 (BRADMAN STREET)

SIGNS AND LINEMARKING PLANS

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M2584E_1	SL02	B	SIGNS AND LINEMARKING LAYOUT PLAN - SHEET 2 of 2

DRAINAGE PLANS

M2584E_1	D01	B	DRAINAGE CATCHMENT PLAN
M2584E_1	D02	B	DRAINAGE LAYOUT PLAN
M2584E_1	D03	B	DRAINAGE LONGITUDINAL SECTIONS - LINES A, B & D
M2584E_1	D04	B	DRAINAGE LONGITUDINAL SECTIONS - LINES F, 5F, C & 6A
M2584E_1	D05	B	DRAINAGE LONGITUDINAL SECTIONS - LINES E & H
M2584E_1	D06	B	DRAINAGE LONGITUDINAL SECTIONS - LINES 4H, 10F, G, B1 & B2
M2584E_1	D07	B	DRAINAGE CALCULATIONS TABLES - SHEET 1 of 4
M2584E_1	D08	B	DRAINAGE CALCULATIONS TABLES - SHEET 2 of 4
M2584E_1	D09	B	DRAINAGE CALCULATIONS TABLES - SHEET 3 OF 4
M2584E_1	D10	B	DRAINAGE CALCULATIONS TABLES - SHEET 4 OF 4
M2584E_1	D11	B	DRAINAGE STRUCTURE DETAILS - SHEET 1 OF 2
M2584E_1	D12	B	DRAINAGE STRUCTURE DETAILS - SHEET 2 OF 2
M2584E_1	D13	B	DRAINAGE BIORETENTION PLAN AND DETAILS - BASIN 1
M2584E_1	D14	B	DRAINAGE BIORETENTION SEDIMENT FOREBAY PLAN & SECTIONS - BASIN 1
M2584E_1	D15	B	DRAINAGE BIORETENTION PLAN AND DETAILS - BASIN 2
M2584E_1	D16	B	DRAINAGE BIORETENTION SEDIMENT FOREBAY PLAN & SECTIONS - BASIN 2

EROSION & SEDIMENT CONTROL PLANS

M2584E_1	ES01	B	EROSION AND SEDIMENT CONTROL LAYOUT - BULK EARTHWORKS PHASE
M2584E_1	ES02	B	EROSION AND SEDIMENT CONTROL LAYOUT - ROADS & DRAINAGE PHASE
M2584E_1	ES03	B	EROSION AND SEDIMENT CONTROL LAYOUT - PRACTICAL COMPLETION PHASE
M2584E_1	ES04	A	EROSION AND SEDIMENT CONTROL DETAILS
M2584E_1	ES05	B	EROSION AND SEDIMENT CONTROL DETAILS - SEDIMENT BASIN 1
M2584E_1	ES06	B	EROSION AND SEDIMENT CONTROL DETAILS - SEDIMENT BASIN 2
M2584E_1	ES07	B	EROSION AND SEDIMENT CONTROL DETAILS - SEDIMENT BASIN 3

SEWERAGE RETICULATION PLANS

M2584E_1	S01	B	SEWERAGE LAYOUT PLAN - SHEET 1 of 2
M2584E_1	S02	B	SEWERAGE LAYOUT PLAN - SHEET 2 of 2
M2584E_1	S03	B	SEWERAGE DETAIL LAYOUT PLAN - SHEET 1 of 4
M2584E_1	S04	B	SEWERAGE DETAIL LAYOUT PLAN - SHEET 2 of 4
M2584E_1	S05	B	SEWERAGE DETAIL LAYOUT PLAN - SHEET 3 of 4
M2584E_1	S06	B	SEWERAGE DETAIL LAYOUT PLAN - SHEET 4 of 4

SEWERAGE RETICULATION PLANS

M2584E_1	S07	A	SEWERAGE DETAILS PLAN
M2584E_1	S08	B	SEWERAGE LONGITUDINAL SECTIONS - LINE 1
M2584E_1	S09	B	SEWERAGE LONGITUDINAL SECTIONS - LINES 1 (CONT.) & 11
M2584E_1	S10	B	SEWERAGE LONGITUDINAL SECTIONS - LINES 6 & 4
M2584E_1	S11	B	SEWERAGE LONGITUDINAL SECTIONS - LINES 2 & 3

WATER RETICULATION PLANS

M2584E_1	W01	B	WATER RETICULATION LAYOUT PLAN - SHEET 1 of 3
M2584E_1	W02	B	WATER RETICULATION LAYOUT PLAN - SHEET 2 of 3
M2584E_1	W03	B	WATER RETICULATION LAYOUT PLAN - SHEET 3 of 3
M2584E_1	W04	B	WATER RETICULATION DETAILS PLAN
M2584E_1	W05	A	WATER RETICULATION NOTES

JF

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DIAL BEFORE

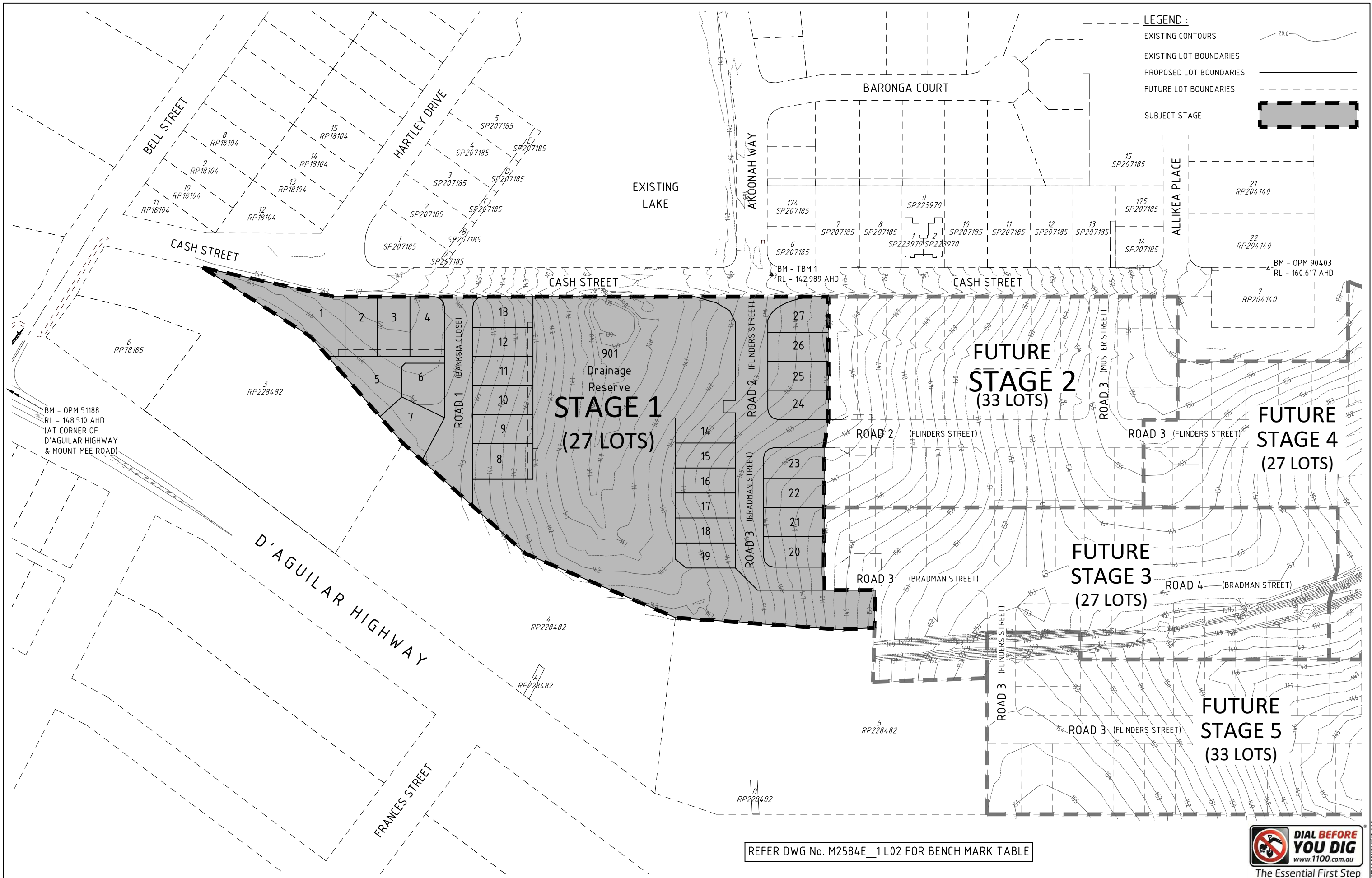
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The Essential First Step

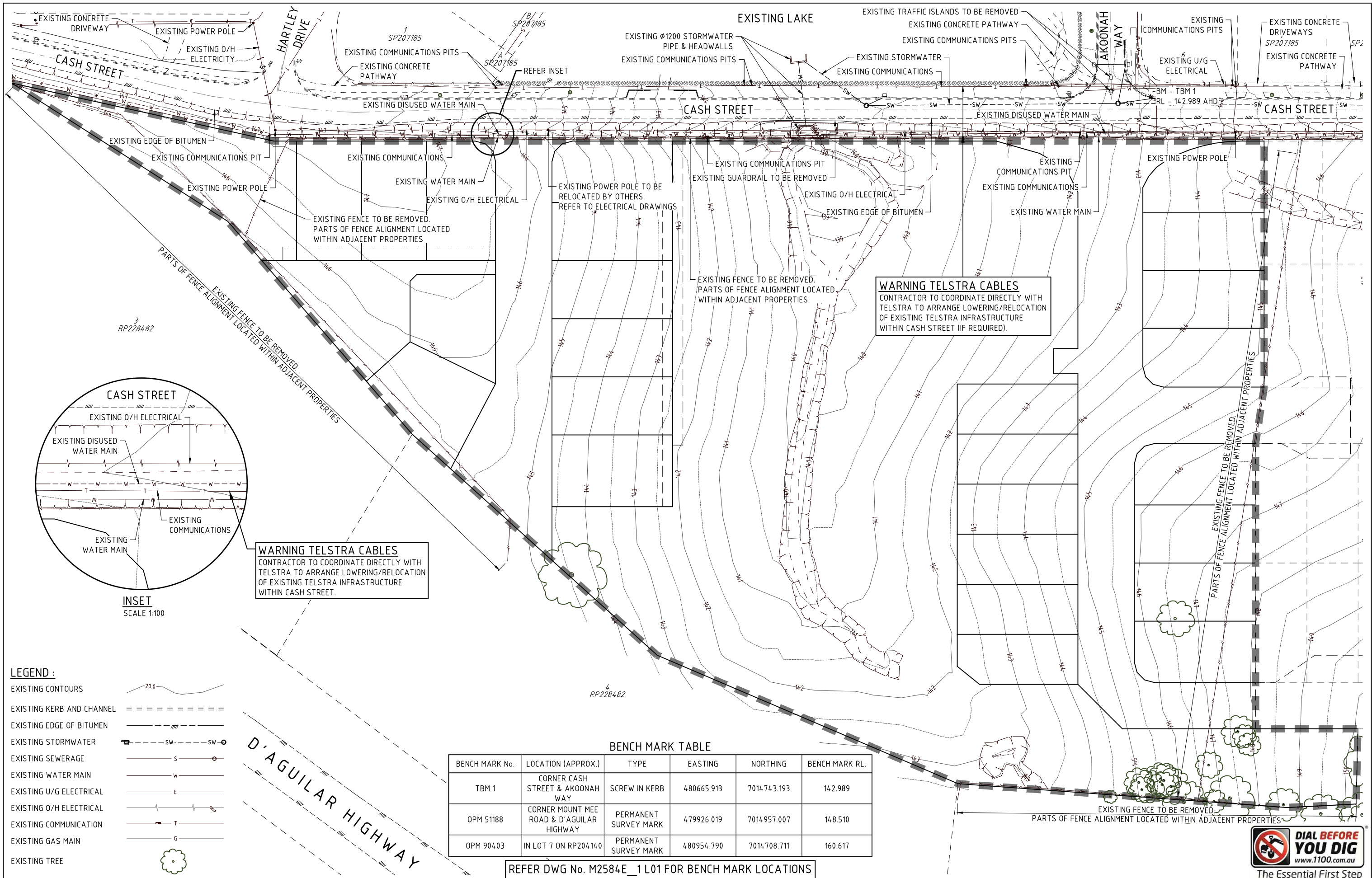
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15/06/2020 N:\M2584E\W05_1\DESIGN\WORKING DRAWINGS\COVERSHEET



 <p>BRISBANE - SUNSHINE COAST - CENTRAL QLD SUNSHINE COAST T209, Kon-Tiki Tower 1, 55 Plaza Parade, Maroochydore Qld 4558 P 07 5450 3900 W www.jfp.com.au JFP URBAN CONSULTANTS PTY. LTD. A.C.N. 050 414 045</p>		<p>PLANNERS URBAN DESIGNERS SURVEYORS ENGINEERS LANDSCAPE ARCHITECTS</p>		<p>NORTH: </p>		<p>SCALE: 1:1000 A1 THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE 0 10 20 30 40 50 100 Metres (A1) 1:1000 (A3) 1:2000 DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE</p>		<p>ISSUE: B A RESPONSE TO RFI DATED 2020/05/26 ISSUE FOR OPERATIONAL WORKS APPROVAL</p>		<p>TITLE: CONSTRUCTION STAGING PLAN DFC (PROJECT MANAGEMENT) PTY LTD 'ARCHERS WAY' ESTATE - STAGE 1 AT 22-80 CASH STREET, D'AGUILAR</p>		<p>DETAILS: PROJECT: M2584E_1 PLAN: L01 ISSUE: B LOCAL AUTHORITY REF: MORETON BAY REGIONAL COUNCIL COUNCIL REF: DA/38032/2019/V3RL FILE NAME: STAGING.DWG</p>	
<p>APPROVED  FOR AND ON BEHALF OF JFP URBAN CONSULTANTS PTY LTD</p>		<p><input type="checkbox"/> T.M'KINNEY RPEQ 5087 <input type="checkbox"/> S.MARSH RPEQ 8068</p>		<p><input checked="" type="checkbox"/> A.FRASER RPEQ 5691 <input type="checkbox"/></p>		<p>DESIGNED: CDV DRAWN: WN CHECKED: ADF DATUM: AHD</p>		<p>DATE: 15/06/20 INIT: BJ</p>		<p>DATE: 24/04/20 INIT: WN</p>		<p>DATE: 15/06/20 INIT: BJ</p>	

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LEGEND :

- EXISTING CONTOURS
- EXISTING KERB AND CHANNEL
- EXISTING EDGE OF BITUMEN
- EXISTING STORMWATER
- EXISTING SEWERAGE
- EXISTING WATER MAIN
- EXISTING U/G ELECTRICAL
- EXISTING O/H ELECTRICAL
- EXISTING COMMUNICATION
- EXISTING GAS MAIN
- EXISTING TREE

BENCH MARK TABLE					
BENCH MARK No.	LOCATION (APPROX.)	TYPE	EASTING	NORTHING	BENCH MARK RL.
TBM 1	CORNER CASH STREET & AKOONAH WAY	SCREW IN KERB	480665.913	7014743.193	142.989
OPM 51188	CORNER MOUNT MEE ROAD & D'AGUILAR HIGHWAY	PERMANENT SURVEY MARK	479926.019	7014957.007	148.510
OPM 90403	IN LOT 7 ON RP20414.0	PERMANENT SURVEY MARK	480954.790	7014708.711	160.617

REFER DWG No. M2584E_1 L01 FOR BENCH MARK LOCATIONS

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NORTH:

SCALE:
1:500
A1

THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE
0 5 10 15 20 25 30 35 40 45 50 Metres
(A1) 1:500
(A3) 1:1000
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APPROVED

FOR AND ON BEHALF OF JF URBAN CONSULTANTS PTY LTD

☐ T.M. KINNEY RPEQ 5087
☐ S. MARSH RPEQ 8068
☒ A. FRASER RPEQ 5691
☐

☐ J. PAPPAS RPEQ 6086
☐

DESIGNED: CDV
DRAWN: WN
CHECKED: ADF
DATE: 15/06/20
INIT: BJ

ISSUE: B
RESPONSE TO RFI DATED 2020/05/26
FOR OPERATIONAL WORKS APPROVAL
DATE: 24/04/20
INIT: WN

TITLE:
EXISTING SERVICES AND SITE SURVEY PLAN

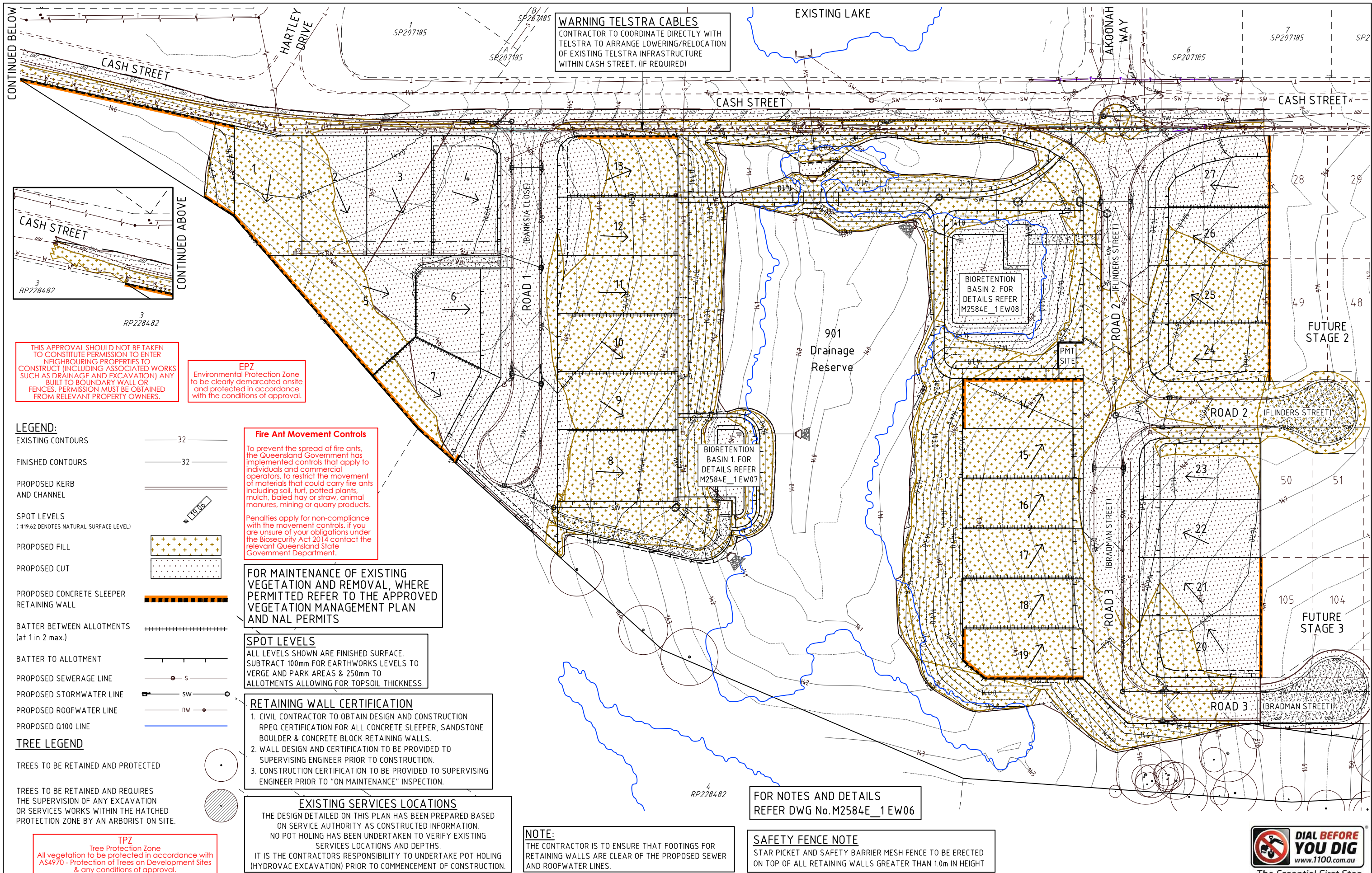
DFC (PROJECT MANAGEMENT) PTY LTD
'ARCHERS WAY' ESTATE - STAGE 1
AT 22-80 CASH STREET, D'AGUILAR

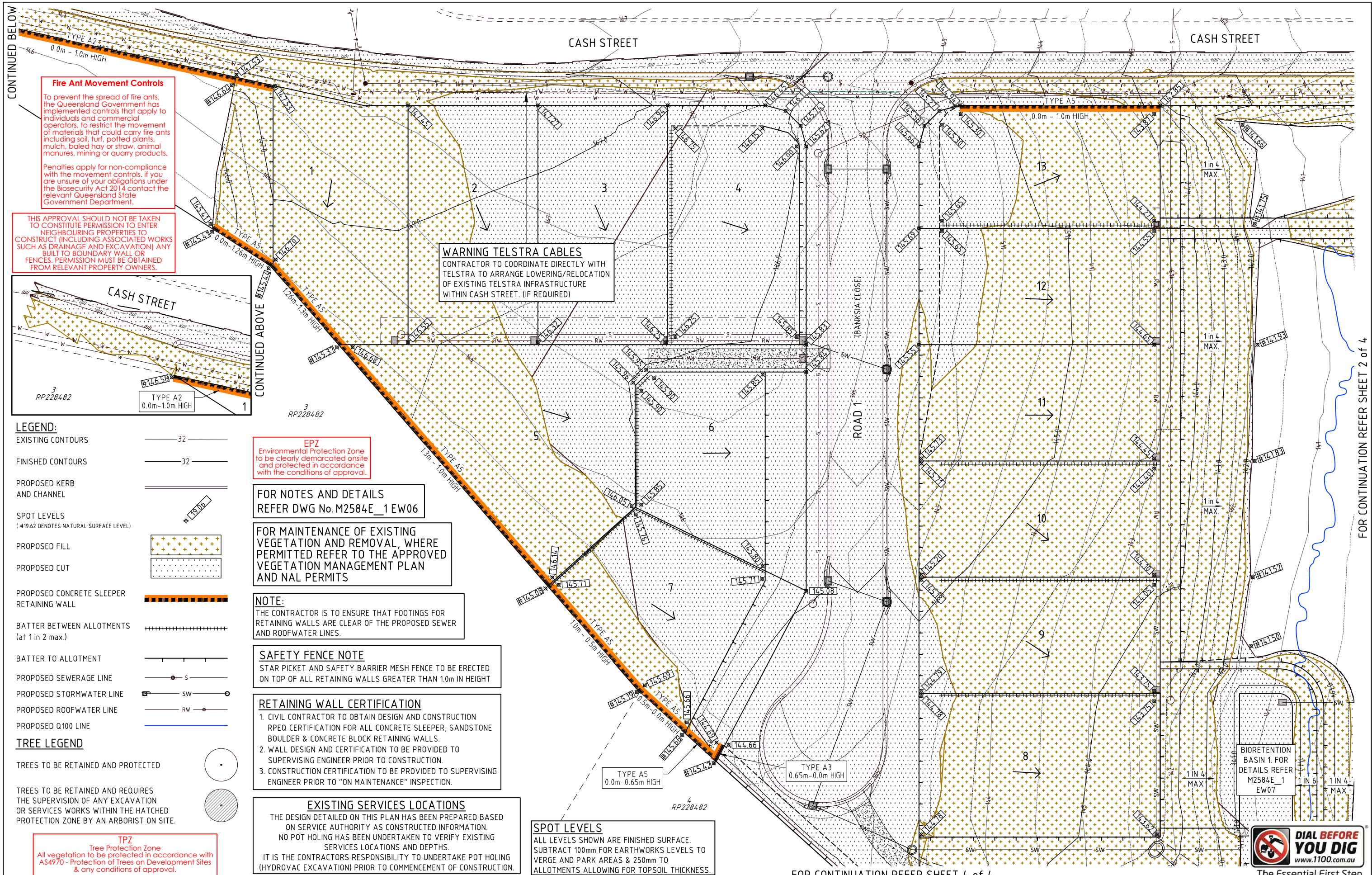
DENNIS FAMILY CORPORATION




DETAILS:
PROJECT: M2584E_1
LOCAL AUTHORITY REF: MORETON BAY REGIONAL COUNCIL
COUNCIL REF: DA/38032/2019/V3RL
FILE NAME: STAGING.DWG

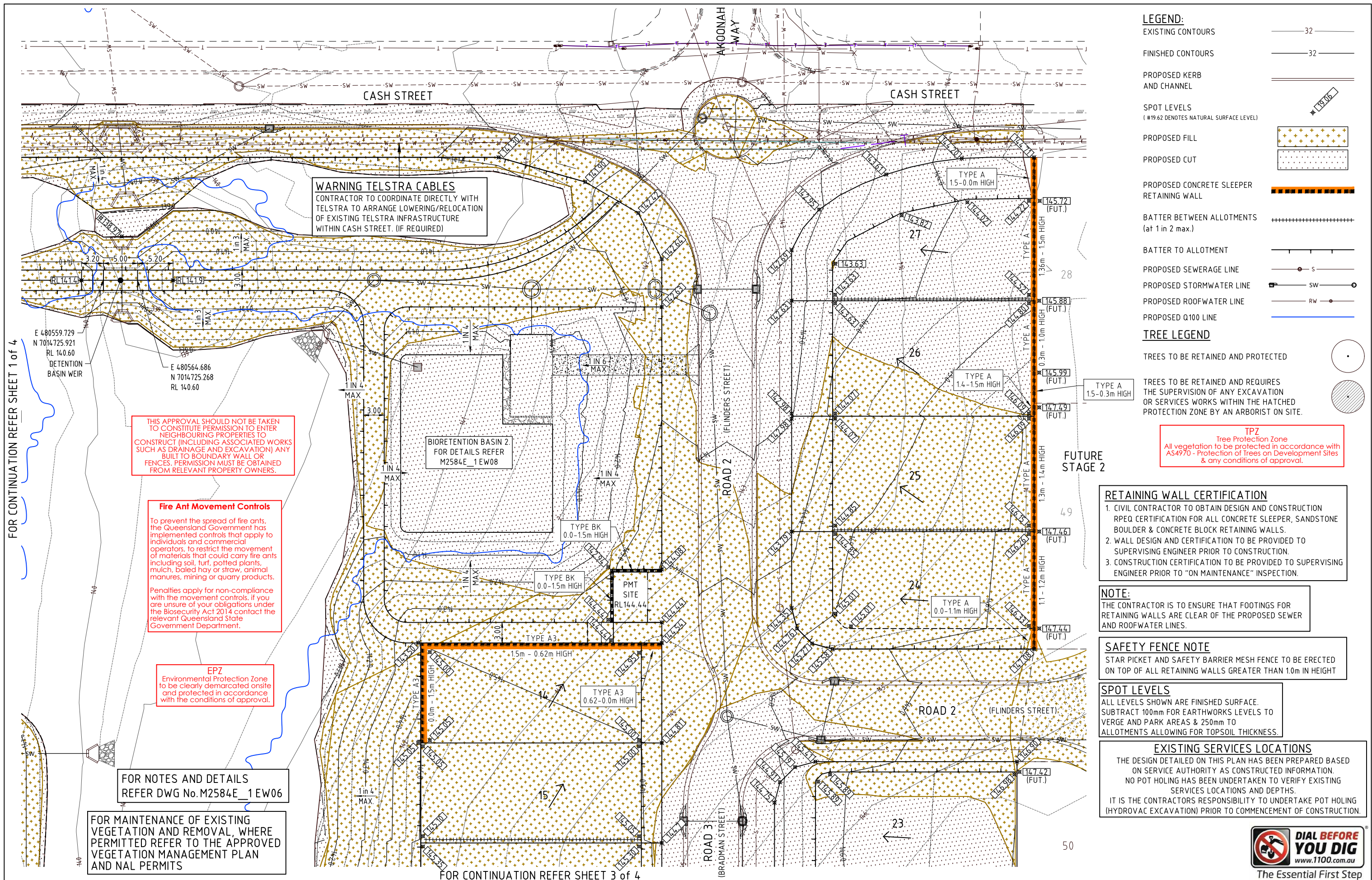
PLAN: L02
ISSUE: B

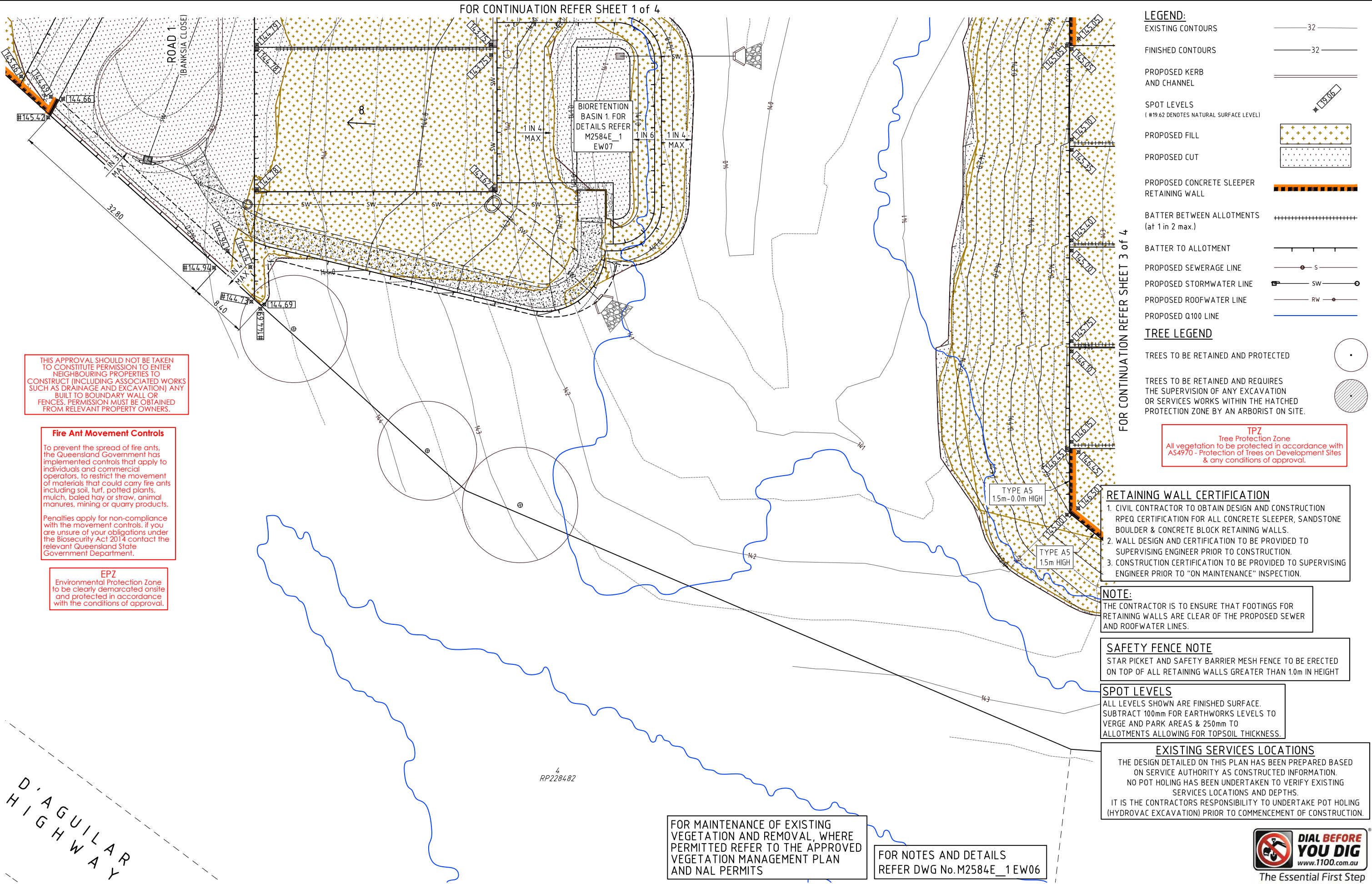
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- LEGEND:**
- EXISTING CONTOURS — 32 —
 - FINISHED CONTOURS — 32 —
 - PROPOSED KERB AND CHANNEL
 - SPOT LEVELS (#19.62 DENOTES NATURAL SURFACE LEVEL)
 - PROPOSED FILL
 - PROPOSED CUT
 - PROPOSED CONCRETE SLEEPER RETAINING WALL
 - BATTER BETWEEN ALLOTMENTS (at 1 in 2 max.)
 - BATTER TO ALLOTMENT
 - PROPOSED SEWERAGE LINE
 - PROPOSED STORMWATER LINE
 - PROPOSED ROOFWATER LINE
 - PROPOSED Q100 LINE

- TREE LEGEND**
- TREES TO BE RETAINED AND PROTECTED
 - TREES TO BE RETAINED AND REQUIRES THE SUPERVISION OF ANY EXCAVATION OR SERVICES WORKS WITHIN THE HATCHED PROTECTION ZONE BY AN ARBORIST ON SITE.

TPZ
Tree Protection Zone
All vegetation to be protected in accordance with AS4970 - Protection of Trees on Development Sites & any conditions of approval.

RETAINING WALL CERTIFICATION

1. CIVIL CONTRACTOR TO OBTAIN DESIGN AND CONSTRUCTION RPEQ CERTIFICATION FOR ALL CONCRETE SLEEPER, SANDSTONE BOULDER & CONCRETE BLOCK RETAINING WALLS.
2. WALL DESIGN AND CERTIFICATION TO BE PROVIDED TO SUPERVISING ENGINEER PRIOR TO CONSTRUCTION.
3. CONSTRUCTION CERTIFICATION TO BE PROVIDED TO SUPERVISING ENGINEER PRIOR TO "ON MAINTENANCE" INSPECTION.

NOTE:
THE CONTRACTOR IS TO ENSURE THAT FOOTINGS FOR RETAINING WALLS ARE CLEAR OF THE PROPOSED SEWER AND ROOFWATER LINES.

SAFETY FENCE NOTE
STAR PICKET AND SAFETY BARRIER MESH FENCE TO BE ERECTED ON TOP OF ALL RETAINING WALLS GREATER THAN 1.0m IN HEIGHT

SPOT LEVELS
ALL LEVELS SHOWN ARE FINISHED SURFACE. SUBTRACT 100mm FOR EARTHWORKS LEVELS TO VERGE AND PARK AREAS & 250mm TO ALLOTMENTS ALLOWING FOR TOPSOIL THICKNESS.

EXISTING SERVICES LOCATIONS
THE DESIGN DETAILED ON THIS PLAN HAS BEEN PREPARED BASED ON SERVICE AUTHORITY AS CONSTRUCTED INFORMATION. NO POT HOLING HAS BEEN UNDERTAKEN TO VERIFY EXISTING SERVICES LOCATIONS AND DEPTHS. IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERTAKE POT HOLING (HYDROVAC EXCAVATION) PRIOR TO COMMENCEMENT OF CONSTRUCTION.

FOR MAINTENANCE OF EXISTING VEGETATION AND REMOVAL, WHERE PERMITTED REFER TO THE APPROVED VEGETATION MANAGEMENT PLAN AND NAL PERMITS

FOR NOTES AND DETAILS REFER DWG No. M2584E_1 EW06

THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.

Fire Ant Movement Controls
To prevent the spread of fire ants, the Queensland Government has implemented controls that apply to individuals and commercial operators, to restrict the movement of materials that could carry fire ants including soil, turf, potted plants, mulch, baled hay or straw, animal manures, mining or quarry products.
Penalties apply for non-compliance with the movement controls. If you are unsure of your obligations under the Biosecurity Act 2014 contact the relevant Queensland State Government Department.

EPZ
Environmental Protection Zone to be clearly demarcated onsite and protected in accordance with the conditions of approval.

D'AGUILAR
HIGHWAY

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PLANNERS
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ENGINEERS
LANDSCAPE ARCHITECTS

NORTH:

SCALE:
1:250
A1

THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE
0 2.5 5 7.5 10 12.5 25 Metres
(A1) 1:250
(A3) 1:500
DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE

APPROVED	T.M. KINNEY RPEQ 5087	A. FRASER RPEQ 5691	J. PAPPAS RPEQ 6086	DESIGNED	CDV
				DRAWN	WN
				CHECKED	ADF
				DATUM:	AHD
				ISSUE:	

FOR AND ON BEHALF OF JFP URBAN CONSULTANTS PTY LTD

ISSUE:

B
A

RESPONSE TO RFI DATED 2020/05/26
ISSUE FOR OPERATIONAL WORKS APPROVAL

15/06/20
24/04/20

DATE: 15/06/20
INIT: BJ WN

TITLE:
**EARTHWORKS DETAIL LAYOUT PLAN
SHEET 4 of 4**
DFC (PROJECT MANAGEMENT) PTY LTD
'ARCHERS WAY' ESTATE - STAGE 1
AT 22-80 CASH STREET, D'AGUILAR

DETAILS:

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COUNCIL REF: DA/38032/2019/V3RL
FILE NAME: EARTHWORKS.DWG

PLAN: EW05
ISSUE: B

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CORPORATION**

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The Essential First Step

1. ALL LOTS TO BE FREE DRAINING TO ROOFWATER DRAINAGE OR ROADWAY.

2. ANY CLEARING REQUIRED TO BE UNDERTAKEN BY THE CONTRACTOR IS TO BE STRICTLY IN ACCORDANCE WITH THE COUNCIL APPROVED VEGETATION MANAGEMENT PLAN, INCLUDING THE LIMITS OF ALLOWABLE CLEARING, TREE PROTECTION REQUIREMENTS AND THE USE OF A FAUNA SPOTTER/CATCHER, AS SPECIFIED.
3. UNLESS OTHERWISE SPECIFIED OR DIRECTED, THE AREA TO BE CLEARED IS THAT REQUIRED BY SITE REGRADING WORKS, INCLUDING THE AREA OCCUPIED BY THE COMPLETED ROAD FORMATION AND ASSOCIATED DRAINAGE WORKS AND EROSION AND SEDIMENTATION MEASURES, THE CONTRACTOR SHALL ENSURE THAT ONLY THE ABSOLUTE MINIMUM AREA FOR CONSTRUCTION IS CLEARED.
4. THE AREA WITHIN THE LIMITS OF CLEARING SHALL BE CLEARED OF ALL VEGETATION, BOTH LIVING AND DEAD, ALL MINOR MAN-MADE STRUCTURES (SUCH AS FENCES, BUILDING MATERIAL AND EXISTING DRIVEWAYS), ALL RUBBISH AND OTHER MATERIALS WHICH, IN THE OPINION OF THE SUPERINTENDENT, ARE UNSUITABLE FOR USE IN THE WORKS WITH THE EXCEPTION OF CERTAIN TREES MARKED FOR PRESERVATION.
5. ALL TREES AND STUMPS ON OR WITHIN THE LIMITS OF CLEARING, THAT ARE TO BE REMOVED BY GRUBBING OPERATION SHALL BE CARRIED OUT TO A DEPTH OF 0.5m BELOW THE NATURAL SURFACE OR 1.5 METRES BELOW THE FINISHED SURFACE LEVEL, WHICHEVER IS THE LOWER.

6. ALL TOPSOIL ON ROADWORKS AREAS SHALL BE STRIPPED AND STOCKPILED PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS OPERATIONS. A TOPSOIL DEPTH OF 150mm HAS BEEN USED TO DETERMINE TOPSOIL AND EARTHWORK QUANTITIES. THE CONTRACTOR IS TO SATISFY HIMSELF OF THE ACCURACY OF THESE QUANTITIES AND TO MAKE ANY NECESSARY ALLOWANCE IF HE DISAGREES WITH QUANTITIES.

7. EARTHWORKS ARE TO BE IN ACCORDANCE WITH AS 3798 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS" (LATEST ISSUE - INCLUDING ALL AMENDMENTS).
8. ALL FILLING SHALL BE COMPLETED TO A LEVEL 1 ARRANGEMENT, UNDER THE SUPERVISION OF THE PRINCIPAL'S OR CONTRACTOR'S APPOINTED GEOTECHNICAL ENGINEER.
9. THE EARTHWORKS QUANTITIES FOR ROADWORKS ARE CALCULATED USING THE MINIMUM ALLOWABLE TOTAL PAVEMENT THICKNESS (NOMINAL PAVEMENT). VARIATIONS TO THE PAVEMENT DEPTHS WILL BE PAYABLE AT THE RATES SHOWN IN THE PRICED SCHEDULE OF RATES.
10. "CUT" AND "FILL" QUANTITIES HAVE BEEN CALCULATED TO THE UNDERSIDE OF THE TOPSOIL LAYER.
11. ALL EARTHWORK QUANTITIES HAVE BEEN CALCULATED AND BILLED IN THE CONTRACT AS "NETT" QUANTITIES, THAT IS NO ALLOWANCE FOR BULKING OR COMPACTION HAS BEEN MADE.
12. ALL FILL PLACED ON THIS SITE IS TO COMPRISE OF ONLY NATURAL EARTH AND APPROVED ROCK AND IS TO BE FREE OF ALL CONTAMINANTS (REFER TO THE ENVIRONMENTAL PROTECTION ACT 1994 SECTION 11), NO DEMOLITION MATERIAL IS TO BE USED.

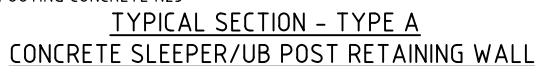
13. MATERIAL TO BE PLACED IN 300mm (MAXIMUM) LAYERS AND COMPACTED TO A MINIMUM OF 95% AS 1289(STANDARD) OF THE MAXIMUM DRY DENSITY.THE INSITU DENSITY OF THE FILL MATERIAL SHALL BE TESTED AT THE RATE OF ONE LOCATION PER ALLOTMENT AT THE FOLLOWING INTERVALS

- TOTAL DEPTH LESS THAN 300mm: -NO TEST REQUIRED
- TOTAL DEPTH OF FILL 300mm - 600mm:-ONE(1) TEST PER ALLOTMENT
- TOTAL DEPTH EXCEEDING 600mm:- ONE(1) TEST IN THE FIRST LAYER THEN -ONE(1) TEST ON EACH ALTERNATIVE LAYER PLACED OVER THE FIRST LAYER

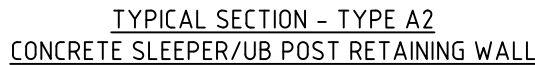
STAR PICKET AND SAFETY BARRIER MESH FENCE TO BE ERECTED
ON TOP OF ALL RETAINING WALLS GREATER THAN 1.0m IN HEIGHT

1. CIVIL CONTRACTOR TO OBTAIN DESIGN AND CONSTRUCTION RPEQ CERTIFICATION FOR ALL CONCRETE SLEEPER, SANDSTONE BOULDER & CONCRETE BLOCK RETAINING WALLS.
2. WALL DESIGN AND CERTIFICATION TO BE PROVIDED TO SUPERVISING ENGINEER PRIOR TO CONSTRUCTION.
3. CONSTRUCTION CERTIFICATION TO BE PROVIDED TO SUPERVISING ENGINEER PRIOR TO "ON MAINTENANCE" INSPECTION.

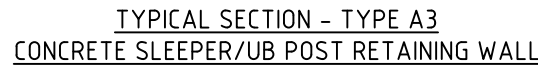
THE DESIGN DETAILED ON THIS PLAN HAS BEEN PREPARED BASED
ON SERVICE AUTHORITY AS CONSTRUCTED INFORMATION.
NO POT HOLING HAS BEEN UNDERTAKEN TO VERIFY EXISTING
SERVICES LOCATIONS AND DEPTHS.
IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERTAKE POT HOLING
(HYDROVAC EXCAVATION) PRIOR TO COMMENCEMENT OF CONSTRUCTION.



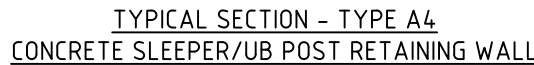
NOTE: RETAINING WALL DESIGN (INCLUDING FENCE POST BRACKETS AND FITTINGS) AND CONSTRUCTION CERTIFICATION TO INCORPORATE LOADING FROM FUTURE 1.8m HIGH LAPPED PALING PROPERTY FENCE



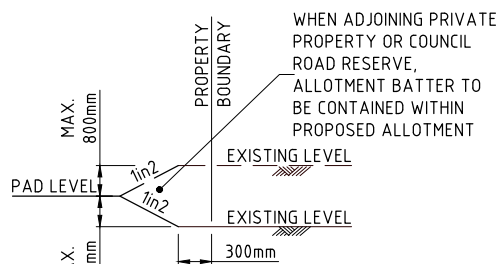
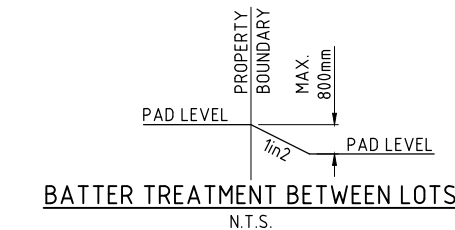
NOTE: RETAINING WALL DESIGN (INCLUDING FENCE POST BRACKETS AND FITTINGS) AND CONSTRUCTION CERTIFICATION TO INCORPORATE LOADING FROM FUTURE 1.8m HIGH LAPPED PALING PROPERTY FENCE



NOTE: RETAINING WALL DESIGN (INCLUDING FENCE POST BRACKETS AND FITTINGS) AND CONSTRUCTION CERTIFICATION TO INCORPORATE LOADING FROM FUTURE 1.8m HIGH LAPPED PALING PROPERTY FENCE



NOTE: RETAINING WALL DESIGN (INCLUDING FENCE POST BRACKETS AND FITTINGS) AND CONSTRUCTION CERTIFICATION TO INCORPORATE LOADING FROM FUTURE 1.8m HIGH LAPPED PALING PROPERTY FENCE



N.T.S.

THE CONTRACTOR IS TO ENSURE THAT FOOTINGS FOR
RETAINING WALLS ARE CLEAR OF THE PROPOSED SEWER
AND ROOFWATER LINES.

To prevent the spread of fire ants, the Queensland Government has implemented controls that apply to individuals and commercial operators, to restrict the movement of materials that could carry fire ants including soil, turf, potted plants, mulch, baled hay or straw, animal manures, mining or quarry products.

Environmental Protection Zone to be clearly demarcated onsite and protected in accordance with the conditions of approval.

THIS APPROVAL SHOULD NOT BE TAKEN
TO CONSTITUTE PERMISSION TO ENTER
NEIGHBOURING PROPERTIES TO
CONSTRUCT (INCLUDING ASSOCIATED WORKS
SUCH AS DRAINAGE AND EXCAVATION) ANY
BUILT TO BOUNDARY WALL OR
FENCES. PERMISSION MUST BE OBTAINED
FROM RELEVANT PROPERTY OWNERS.

FENCE POST BRACKETS SHALL BE ATTACHED TO UB POSTS FOR FUTURE 1.8m HIGH LAPPED PALING PROPERTY FENCE IF ORDERED

PROPOSED ALLOTMENT

FINISHED SURFACE

COMPACTED CLAY MATERIAL 150mm THICK

BACK OF STEEL UB POST

GEOTEXTILE FABRIC

CONCRETE SLEEPER PANELS

FREE DRAINING GRANULAR FILL

Ø100 SLOTTED DRAINAGE PIPE TO DISCHARGE TO DRAINAGE SYSTEM

SETOUT POINT

225mm MIN (FRONT EDGE OF WALL FOOTING)

RP BDY

CENTRE OF UB POST

0.60

1.50m MAX

EXISTING EXTERNAL ALLOTMENT

STEEL UB POST AT 2.0m CENTRES

EXISTING SURFACE

FOOTING TO BE LOCATED ENTIRELY IN PROPOSED ALLOTMENT

CENTRE OF WALL FOOTING CONCRETE N25

NOTE: RETAINING WALL DESIGN (INCLUDING FENCE POST BRACKETS AND FITTINGS) AND CONSTRUCTION CERTIFICATION TO INCORPORATE LOADING FROM FUTURE 1.8m HIGH LAPPED PALING PROPERTY FENCE

ICE POST BRACKETS SHALL BE ATTACHED TO UB POSTS FOR URE 1.8m HIGH LAPPED PALING PROPERTY FENCE IF ORDERED

SETOUT POINT
RP BODY

PROPOSED ALLOTMENT

FINISHED SURFACE

CENTRE OF UB POST

2.00m MAX

0.60

FACE OF STEEL UB POST

STEEL UB POST AT 2.0m CENTRES

LEVEL

COMPACTED CLAY MATERIAL 150mm THICK

BACK OF STEEL UB POST

GEOTEXTILE FABRIC

CONCRETE SLEEPER PANELS

FREE DRAINING GRANULAR FILL

Ø100 SLOTTED DRAINAGE PIPE TO DISCHARGE TO DRAINAGE SYSTEM

FINISHED SURFACE

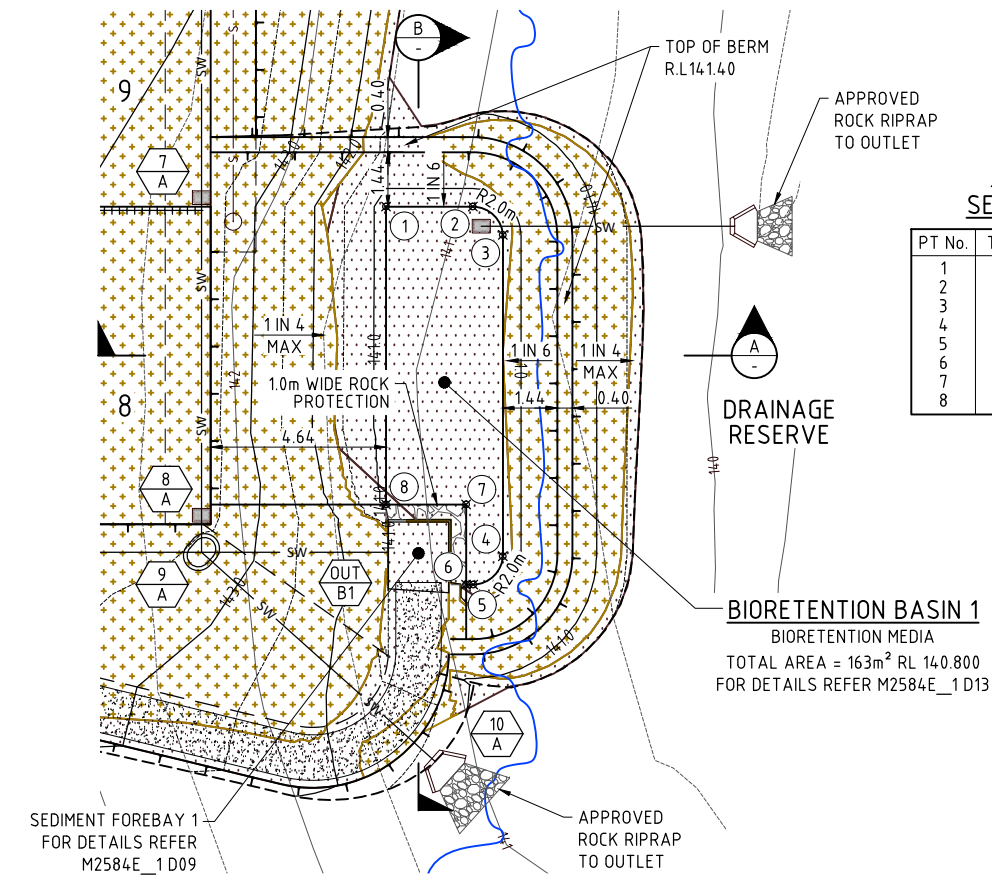
PROPOSED ALLOTMENT

FOOTING TO BE LOCATED CENTRALLY UNDER PROPERTY BOUNDARY

CENTRE OF WALL

NOTE: RETAINING WALL DESIGN (INCLUDING FENCE POST BRACKETS AND FITTINGS) AND CONSTRUCTION CERTIFICATION TO INCORPORATE LOADING FROM FUTURE 1.8m HIGH LAPPED PALING PROPERTY FENCE

ALL LEVELS SHOWN ARE FINISHED SURFACE.
SUBTRACT 100mm FOR EARTHWORKS LEVELS TO
VERGE AND PARK AREAS & 250mm TO
ALLOTMENTS ALLOWING FOR TOPSOIL THICKNESS.



BIORETENTION BASIN 1
SETOUT AND LEVEL TABLE

PT No.	TYPE	EASTING	NORTHING	LEVEL
1	IP	480525.838	7014661.795	140.800
2	IP	480531.532	7014661.046	140.800
3	IP	480533.253	7014658.931	140.800
4	IP	480530.480	7014637.863	140.800
5	IP	480528.295	7014636.257	140.800
6	IP	480527.830	7014636.317	140.800
7	IP	480528.521	7014641.572	140.800
8	IP	480523.267	7014642.264	140.800

BIORETENTION BASIN 1
BIORETENTION MEDIA
TOTAL AREA = 163m² RL 140.800
FOR DETAILS REFER M2584E_1 D13

FOR MAINTENANCE OF EXISTING VEGETATION AND REMOVAL, WHERE PERMITTED REFER TO THE APPROVED VEGETATION MANAGEMENT PLAN AND NAL PERMITS

RETAINING WALL CERTIFICATION

- CIVIL CONTRACTOR TO OBTAIN DESIGN AND CONSTRUCTION RPEQ CERTIFICATION FOR ALL CONCRETE SLEEPER, SANDSTONE BOULDER & CONCRETE BLOCK RETAINING WALLS.
- WALL DESIGN AND CERTIFICATION TO BE PROVIDED TO SUPERVISING ENGINEER PRIOR TO CONSTRUCTION.
- CONSTRUCTION CERTIFICATION TO BE PROVIDED TO SUPERVISING ENGINEER PRIOR TO "ON MAINTENANCE" INSPECTION.

SAFETY FENCE NOTE

STAR PICKET AND SAFETY BARRIER MESH FENCE TO BE ERECTED ON TOP OF ALL RETAINING WALLS GREATER THAN 1.0m IN HEIGHT

EXISTING SERVICES LOCATIONS

THE DESIGN DETAILED ON THIS PLAN HAS BEEN PREPARED BASED ON SERVICE AUTHORITY AS CONSTRUCTED INFORMATION. NO POT HOLING HAS BEEN UNDERTAKEN TO VERIFY EXISTING SERVICES LOCATIONS AND DEPTHS. IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERTAKE POT HOLING (HYDROVAC EXCAVATION) PRIOR TO COMMENCEMENT OF CONSTRUCTION.

FOR NOTES AND DETAILS

REFER DWG No. M2584E_1 EW06

SPOT LEVELS

ALL LEVELS SHOWN ARE FINISHED SURFACE. SUBTRACT 100mm FOR EARTHWORKS LEVELS TO VERGE AND PARK AREAS & 250mm TO ALLOTMENTS ALLOWING FOR TOPSOIL THICKNESS.

REFER TO LANDSCAPE DRAWINGS FOR DETAILS OF FENCES ABOVE RETAINING WALLS

LEGEND:

EXISTING CONTOURS	— 32 —
FINISHED CONTOURS	— 32 —
PROPOSED KERB AND CHANNEL	=====
SPOT LEVELS (#19.62 DENOTES NATURAL SURFACE LEVEL)	19.62
PROPOSED FILL	+++++
PROPOSED CUT	-----
PROPOSED CONCRETE SLEEPER RETAINING WALL	=====
BATTER BETWEEN ALLOTMENTS (at 1 in 2 max.)	=====
BATTER TO ALLOTMENT	=====
PROPOSED SEWERAGE LINE	— S —
PROPOSED STORMWATER LINE	— SW —
PROPOSED ROOFWATER LINE	— RW —
PROPOSED Q100 LINE	=====

NOTE:

THE CONTRACTOR IS TO ENSURE THAT FOOTINGS FOR RETAINING WALLS ARE CLEAR OF THE PROPOSED SEWER AND ROOFWATER LINES.

Fire Ant Movement Controls

To prevent the spread of fire ants, the Queensland Government has implemented controls that apply to individuals and commercial operators, to restrict the movement of materials that could carry fire ants including soil, turf, potted plants, mulch, baled hay or straw, animal manures, mining or quarry products.

Penalties apply for non-compliance with the movement controls, if you are unsure of your obligations under the Biosecurity Act 2014 contact the relevant Queensland State Government Department.

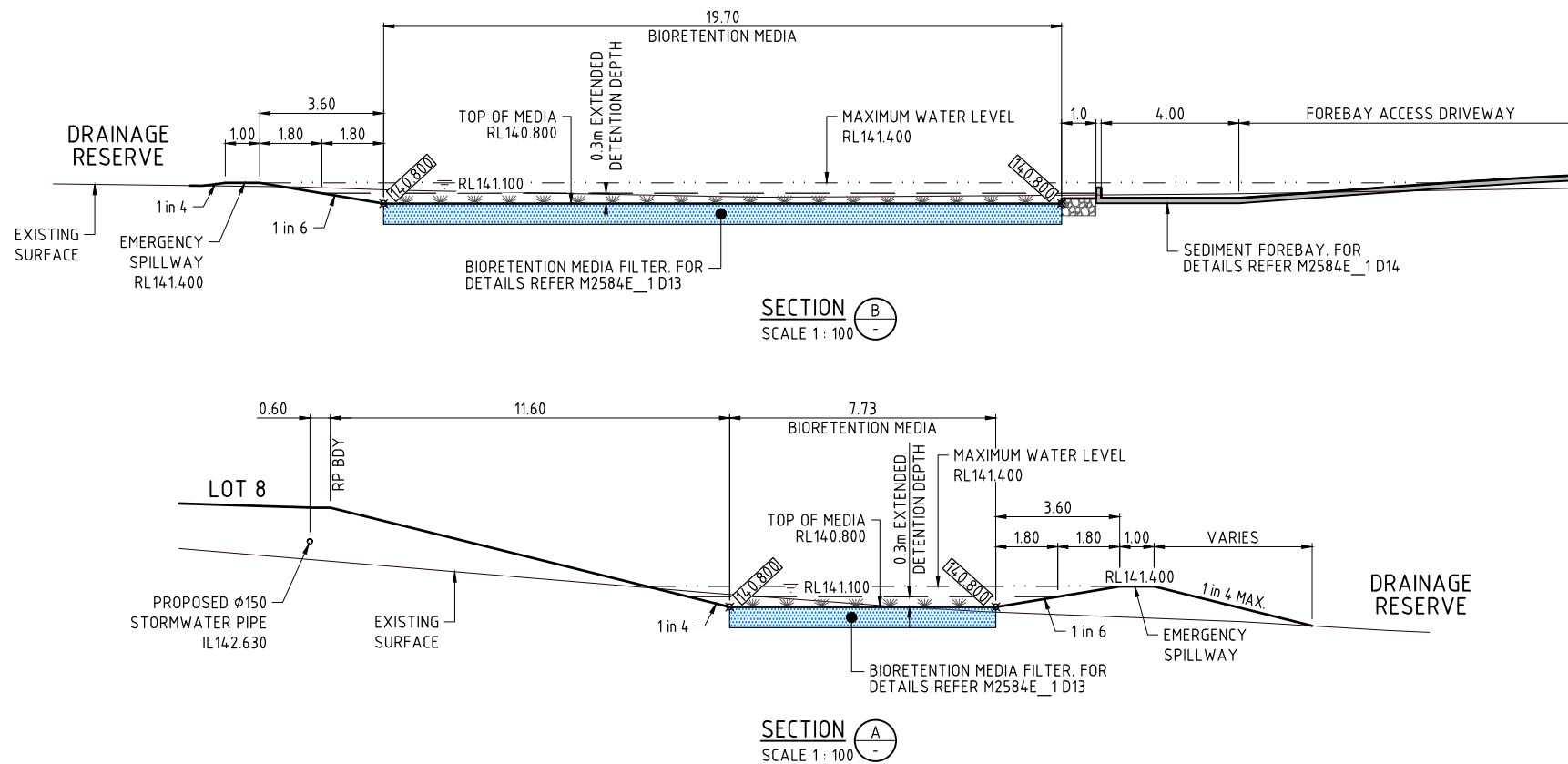
THIS APPROVAL SHOULD NOT BE TAKEN TO CONSTITUTE PERMISSION TO ENTER NEIGHBOURING PROPERTIES TO CONSTRUCT (INCLUDING ASSOCIATED WORKS SUCH AS DRAINAGE AND EXCAVATION) ANY BUILT TO BOUNDARY WALL OR FENCES. PERMISSION MUST BE OBTAINED FROM RELEVANT PROPERTY OWNERS.

EPZ
Environmental Protection Zone to be clearly demarcated onsite and protected in accordance with the conditions of approval.

RPEQ DESIGNED SHORING SYSTEM TO BE OBTAINED PRIOR TO COMMENCEMENT OF WORKS ON SITE.

CONTRACTOR TO ENSURE EXCAVATION FACE ADJACENT TO BOUNDARY IS IN A STABLE STATE AT ALL TIMES DURING CONSTRUCTION.

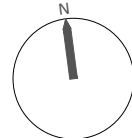
CONTRACTOR TO ENSURE NO DAMAGE OCCURS TO ADJOINING PROPERTY DURING WORKS.



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JFP URBAN CONSULTANTS PTY. LTD. A.C.N. 050 414 045

PLANNERS
URBAN DESIGNERS
SURVEYORS
ENGINEERS
LANDSCAPE ARCHITECTS

NORTH:



SCALE:

1:250
A1

THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE
0 2.5 5 7.5 10 12.5 (A1) 1:250 25
(A3) 1:500

DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE

APPROVED
FOR AND ON BEHALF OF JFP URBAN CONSULTANTS PTY LTD

T.M. KINNEY
RPEQ 5087
A. FRASER
RPEQ 5691
J. PAPPAS
RPEQ 6086
S. MARSH
RPEQ 8068

DESIGNED
DRAWN
CHECKED
DATE: AHD

CDV
WN
ADF
A

ISSUE:

DETAILS:

RESPONSE TO RFI DATED 2020/05/26
ISSUE FOR OPERATIONAL WORKS APPROVAL

15/06/20
24/04/20

CDV
WN
INIT:

DATE:

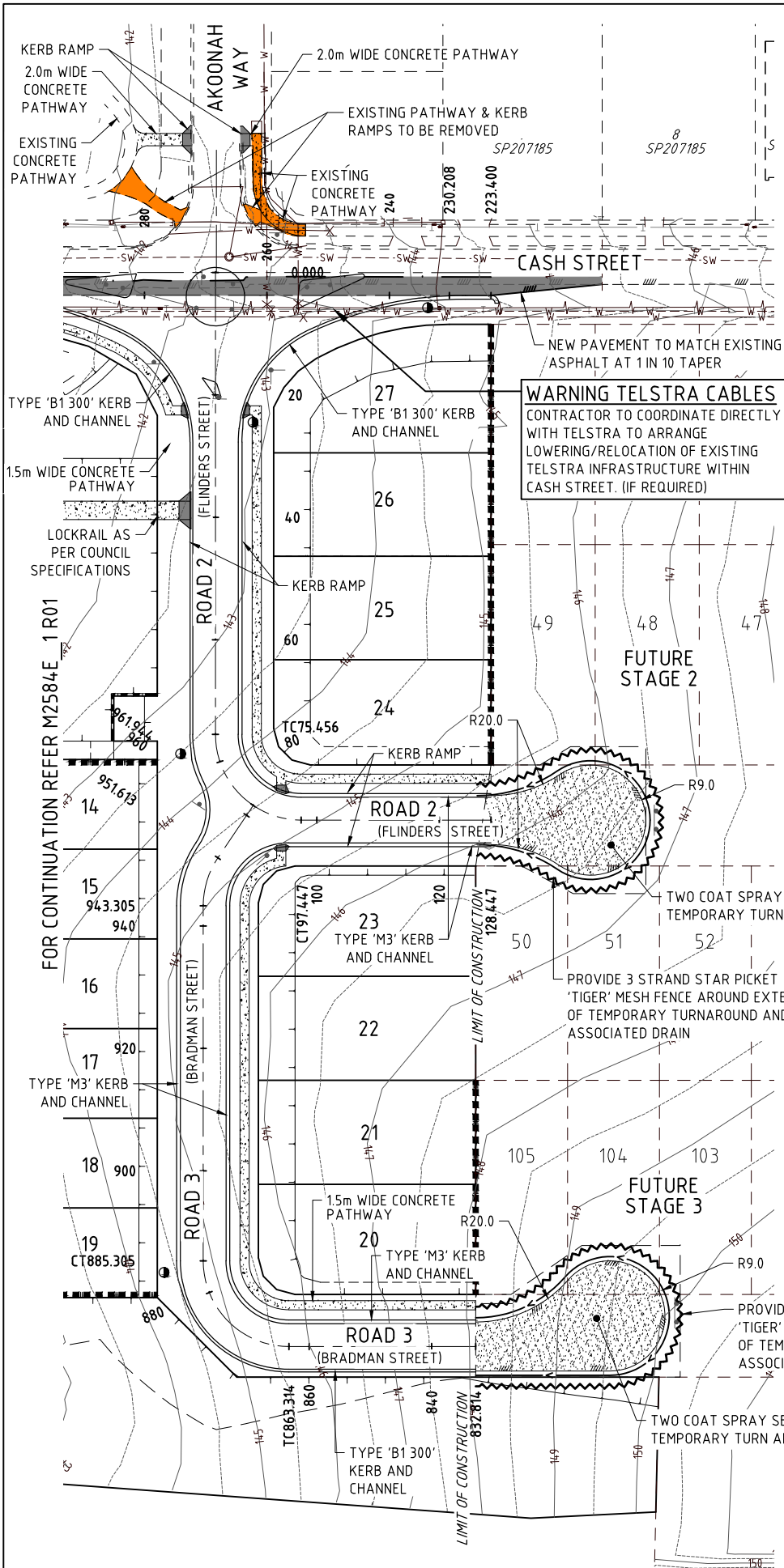
TITLE:

EARTHWORKS - BIORETENTION BASIN 1
LAYOUT PLAN AND DETAILS
DFC (PROJECT MANAGEMENT) PTY LTD
'ARCHERS WAY' ESTATE - STAGE 1
AT 22-80 CASH STREET, D'AGUILAR



DETAILS:

PROJECT: M2584E_1
PLAN: EW07
ISSUE: B
LOCAL AUTHORITY REF: MORETON BAY REGIONAL COUNCIL
COUNCIL REF: DA/38032/2019/V3RL
FILE NAME: EARTHWORKS.DWG



LEGEND :

EXISTING CONTOURS	
EXISTING KERB AND CHANNEL	
EXISTING STORMWATER	
EXISTING SEWERAGE	
EXISTING WATER	
EXISTING U/G ELECTRICAL	
EXISTING TELSTRA	
PROPOSED KERB AND CHANNEL	
FUTURE KERB AND CHANNEL	
PROPOSED RETAINING WALL	
DENOTES TRANSITION IN K&C REFER INTERSECTION DETAILS	
SINGLE PLATE STREET NAME SIGN	
HAZARD MARKER D4-5	
ROAD WIDENING PAVEMENT EXTENTS	
BOLLARDS @ 1.5m CENTRES	

TREE LEGEND

TREES TO BE RETAINED AND PROTECTED

TREES TO BE RETAINED AND REQUIRES
THE SUPERVISION OF ANY EXCAVATION
OR SERVICES WORKS WITHIN THE HATCHED
PROTECTION ZONE BY AN ARBORIST ON SITE.

TPZ
Tree Protection Zone
All vegetation to be protected in accordance with
AS4970 - Protection of Trees on Development Sites
& any conditions of approval.

ROADWORKS NOTES

- ALL DIMENSIONS ON THE DRAWINGS ARE IN METRES UNLESS SHOWN OTHERWISE.
- ALL TURNOUT RADII ARE TO THE LIP OF THE CHANNEL.
- REFER TO TABLE 'A' ON THIS PLAN FOR DETAILS OF KERB AND CHANNEL TYPE AND ASPHALTIC CONCRETE SURFACING THICKNESS.
- LENGTH AND LOCATION OF MITRE DRAINS SHALL BE DETERMINED ON SITE BY THE SUPERINTENDENT.
- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH CURRENT MORETON BAY REGIONAL COUNCIL STANDARDS AND STANDARD DRAWINGS UNLESS DIRECTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING SERVICES WITH ALL RELEVANT AUTHORITIES BEFORE COMMENCING CONSTRUCTION. ANY COSTS ASSOCIATED WITH REPAIRING DAMAGE TO EXISTING SERVICES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL ERECT TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE RELEVANT AUTHORITY SPECIFICATIONS.
- SUB-BASE GRAVEL COMPACTED TO 95% AS1289 (MODIFIED) AND OF MINIMUM THICKNESS 75mm SHALL EXTEND UNDER THE KERB AND CHANNEL TO 150mm (MIN.) BEHIND THE KERB.
- NBN TO RECEIVE 3 WEEKS NOTICE BEFORE INSTALLATION OF CONDUITS.
- THE CONTRACTOR SHALL VERIFY OFFSET PEG LOCATIONS AND BENCH MARK LEVELS AND ADVISE THE SUPERINTENDENT OF ANY DISCREPANCY BEFORE THE COMMENCEMENT OF CONSTRUCTION.
- SIDE DRAINS SHALL BE LOCATED UNDER ALL KERB AND CHANNEL AS PER PINE RIVERS SHIRE COUNCIL STD. DWG. 8-10039.
- FOR CHICANE DETAILS REFER TO PINE RIVERS SHIRE COUNCIL. STD. DWG. 8-60033 & 8-60036.

PAVEMENT

- THE ROAD PAVEMENT ADOPTED WILL BE DETERMINED BY THE ENGINEER AND APPROVED BY MORETON BAY REGIONAL COUNCIL. THIS PAVEMENT SHALL BE BASED ON SOIL TESTS TAKEN AT FORMATION LEVEL.
- ANY VARIATIONS TO THE NOMINAL PAVEMENT THICKNESS WILL BE PAID AT THE RATES SHOWN IN THE PRICED SCHEDULE OF RATES.

TOPSOIL

- ALL TOPSOIL ON ROADWORK AREAS SHALL BE STRIPPED AND STOCKPILED PRIOR TO THE COMMENCEMENT OF ANY ROADWORK OPERATIONS.
- A TOPSOIL DEPTH OF 150mm. HAS BEEN USED TO DETERMINE TOPSOIL AND EARTHWORK QUANTITIES. THE CONTRACTOR IS TO SATISFY HIMSELF OF THE ACCURACY OF THESE QUANTITIES AND TO MAKE ANY NECESSARY ALLOWANCE IF HE DISAGREES WITH THEM.
- A TOPSOIL RESPREAD DEPTH OF 250mm ON ALLOTMENTS HAS BEEN USED TO DETERMINE EARTHWORK QUANTITIES.

ALLOTMENT FILL

MATERIAL IS TO BE PLACED IN 300mm. (MAXIMUM) LAYERS AND COMPACTED TO A MINIMUM OF 95% AS1289 (STANDARD) OF THE MAXIMUM DRY DENSITY. THE INSITU DENSITY OF THE FILL MATERIAL SHALL BE TESTED AT THE RATE OF ONE LOCATION PER ALLOTMENT AT THE FOLLOWING INTERVALS:-

- TOTAL DEPTH LESS THAN 0.3M. - NO TEST REQUIRED.
- TOTAL DEPTH OF FILL 0.3M. TO 0.6M. - ONE (1) TEST PER ALLOTMENT.
- TOTAL DEPTH EXCEEDING 0.6M. - ONE (1) TEST IN THE FIRST LAYER THEN ONE (1) TEST ON EACH ALTERNATE LAYER PLACED OVER THE FIRST LAYER.

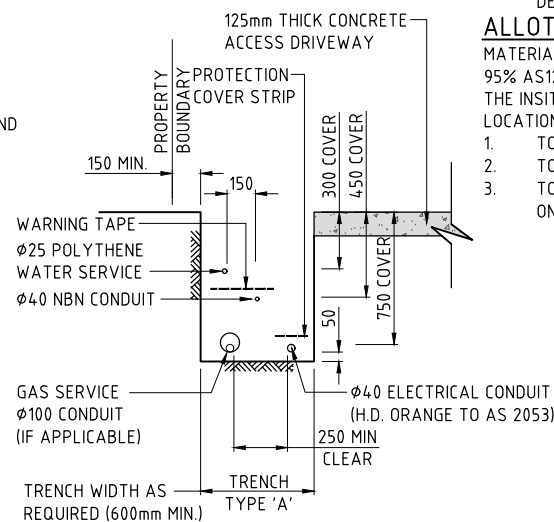
ACCESS ROUTES.

THE CONTRACTOR MAY BE REQUIRED, FROM TIME TO TIME, DURING THE PERIOD OF CONSTRUCTION, TO CLEAN THOSE PARTS OF THE ACCESS ROUTE TO THE SITE THAT MAY BE AFFECTED BY ANY MATERIAL DROPPED, DEPOSITED OR SPILLED ON THE ROADS AS A RESULT OF CONSTRUCTION PROCESSES ASSOCIATED WITH THE SITE. ALL CONSTRUCTION TRAFFIC TO THE SUBJECT PROPERTY SHALL BE ACCESSED VIA BRISBANE ROAD.

DRIVEWAY NOTES:

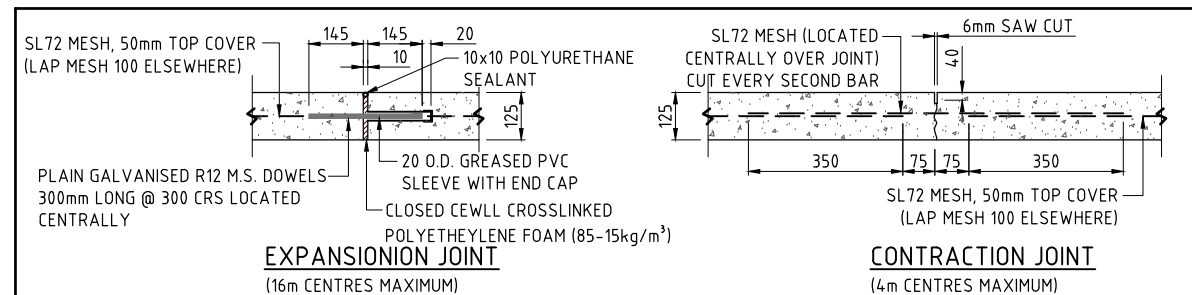
ALL CONCRETE DRIVEWAYS ARE TO BE 3.0M. WIDE U.N.O., 125mm. THICK WITH F72 MESH, 50mm TOP COVER, ON A 75mm. THICK CBR15 GRAVEL BASE.
THE CONTRACTOR IS TO ENSURE THAT ALL SERVICE CONDUITS ARE IN PLACE BEFORE POURING THE DRIVEWAYS.
THE BACK OF KERB AND CHANNEL IS TO BE CUT DOWN AT ALL DRIVEWAY ENTRANCES.
THE EXACT LOCATION AND EXTENT OF THE DRIVEWAY WILL BE DETERMINED ON SITE BY THE SUPERVISING ENGINEER.

FOR CONTROL LINE SETOUT TABLES
REFER TO DWG No. M2584E_1 R03



SERVICE TRENCH TYPE 'A' DETAIL (LOT 5)

SCALE 1:20



CONCRETE DRIVEWAYS TO SINGLE LOTS DETAILS

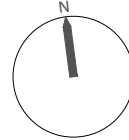
- ALL CONCRETE DRIVEWAYS TO SINGLE LOTS ARE TO BE 3.0m WIDE U.N.O., GRADE N25 CONCRETE, 125mm THICK WITH SL72 MESH, 50mm TOP COVER, ON A 75mm CBR 15 GRAVEL BASE.
- THE CONTRACTOR IS TO ENSURE THAT ALL SERVICE CONDUITS ARE IN PLACE BEFORE POURING THE DRIVEWAYS.
- THE BACK OF KERB AND CHANNEL IS TO BE CUT DOWN AT ALL DRIVEWAY ENTRANCES. FOR DETAILS SEE P.R.S.C. STD. DWG. 8-10043
- THE SUPERVISING ENGINEER IS TO BE NOTIFIED PRIOR TO POURING CONCRETE FOR INSPECTION OF PLACED MESH
- THE EXACT LOCATION AND EXTENT OF THE DRIVEWAY WILL BE DETERMINED ON SITE BY THE SUPERVISING ENGINEER.
- EXPANSION AND CONTRACTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH ABOVE DETAILS.



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PLANNERS
URBAN DESIGNERS
SURVEYORS
ENGINEERS
LANDSCAPE ARCHITECTS

NORTH:



SCALE:

1:500

A1

THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE

0 5 10 15 20 25 30 35 40 45 50 Metres

(A1) 1:500 (A3) 1:1000

DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE

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CDV

DRAWN

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CHECKED

ADF

DATUM: AHD

ISSUE:

DETAILS:

RESPONSE TO RFI DATED 2020/05/26

ISSUE FOR OPERATIONAL WORKS APPROVAL

DATE:

INIT:

DATE:

TITLE:

ROADWORKS DETAILS PLAN

DFC (PROJECT MANAGEMENT) PTY LTD

'ARCHERS WAY' ESTATE - STAGE 1
AT 22-80 CASH STREET, D'AGUILAR



DETAILS:

PROJECT:

M2584E_1

PLAN:

R02

ISSUE:

B

LOCAL AUTHORITY REF:

MORETON BAY REGIONAL COUNCIL

COUNCIL REF:

DA/38032/2019/V3RL

FILE NAME:

ROADWORKS.DWG

